

ECOVILLAGE RESIDENTS' BULLETIN

3 March 2023

#10

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Changes to the WEV Sustainable Building Design Guidelines

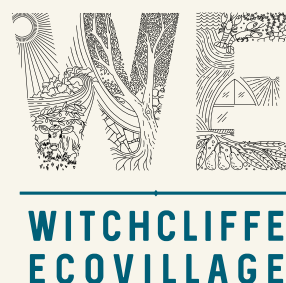
By Jeff Thierfelder, Project Manager, Planning and Architecture

We have had feedback from a number of residents about the escalating cost of building and we are very sympathetic. This has led to a review of our design guidelines to see if there are any requirements that can be amended to enable better affordability without compromising the high standards in thermal efficiency we have established for the Ecovillage. From this review, we have identified some amendments that should assist in making the Ecovillage builds more affordable.

These changes include:

- reducing the minimum pitch on gable roofs for some homes
- slightly reducing the minimum wall insulation R value
- slightly reducing the thermal efficiency requirements of the windows

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- amending the requirements around greywater systems
- reducing the NatHERS star rating to 7.5 stars on homes in Stage 3-5

Other strategies for reducing cost in building include minimising unnecessary glazing and considering prefab steel shed construction as a cheaper option than timber.

In addition, we will be changing some text in other provisions to clarify or amend our requirements around side boundary retaining walls, construction inspections, termite treatment options, and exterior colour on buildings. All of these changes are outlined in the link below, are in-effect from today, and will be picked up in the next edition of the Sustainable Building Design Guidelines (coming soon).

[Click here](#) to download the spreadsheet with all the changes to the design guidelines from the website.

Energy Update

By Mike Hulme, Director and Co-founder

We're excited to confirm that the final component of the Western Power approvals, required to turn on all of the solar systems and community batteries, is now expected within the next three weeks.

Our electrical engineers at Cossill Webley and Integrated Electrical will be on site next week certifying various components of the system and will lodge these certificates with Western Power late next week. Integrated Electrical will be in touch with each Strata to confirm some times for the power to be switched off very briefly, as required for this process to be completed.

We're also pleased to confirm that all of the EV chargers in Stage 1 and 2 will also be installed on 13 and 14 March.

We have also received all of the SwitchDin Droplets that all homes are required to install (to enable curtailing of solar output) under Western Power rules that were brought in during 2022.

As confirmed previously, we've purchased the Droplets at our expense, but you'll need to cover the cost to install them at your home. Please contact Integrated Electrical, or the electrician that installed your solar system, to confirm an installation date. Tech sheets will be available for electrical contractors by the end of next week. The Droplets will also provide you with access to the SwitchDin Stormcloud service, which will enable you to monitor how much energy you're consuming, exporting and importing. They will also enable each strata to be able to download a CSV file for billing / crediting each household.

Consistent with our energy booklets, we will be providing further info around PowerLedger and microgrid management services, including billing, over the coming weeks. Sustainable Settlements will continue to provide the billing service to each strata, free of charge, until the microgrid comms system is operational.

We thank you all so much for your patience. As difficult as the delays have been for all of us, I'm often reminded of other subdivisions where they're building homes with generators due to Western Power delays. So at least we know it has been a state-wide issue. I think we have good cause for an Energy Party at the Ecovillage Community Centre when all of the systems are fully operational!

Selling your lot – follow up information

To lot owners considering selling their lot, we have some follow up information to the email letter (dated 17

February 2023) that we sent to all residents regarding building pressures. [This letter can be referenced on the Residents' Library here](#) (password: Ecoresinews123).

We are now only a few weeks away from acquiring the real estate license required to enable us to legally re-sell lots. However, if you are planning to sell and would like a preliminary appraisal and fee outline, please email us on sales@ecovillage.net.au

Alternatively, we have now prepared the comprehensive WEV Sales Document Packs for clusters 2A, 3A and 1A (with others to follow) for use by owners selling privately or external real estate agents operating on behalf of owners. If you would like to purchase one of these packs for \$100 + GST, please contact us and, on payment of our invoice, we will send you or your RE agent a Dropbox link to the documents. The packs include the following information that is specific to each strata cluster and must be given to the new owners:

Sample Table of Contents for Cluster 2A Sales Document Pack

- WEV Building Design Guidelines
- AGM and attachments
 - > 2A AGM 2022 Minutes
 - > TMC Resident Landowner Handout
 - > AGM 2022 attachments
 - » 2A Asset list 2022
 - » 2A Budget 2022
 - » 2A Insurance 2021 & 2022
 - » 2A Levies 2022
 - » 2A Microgrid design
 - » 2A Ten year plan 2022

- » Document Scheme Notice 0539509
- » HIA contract 1048426
- » Scheme By-Laws 77790 Landgate
- » Survey Strata Plan 77787 – Title list
- » Survey Strata Plan 77787 including 2A Unit Entitlements
- » Attachment 7 Service Agreements 2A
- » 2A Easements and Notifications
 - Document Easement 0539510
 - Document Notification 0518092
 - Document Notification 0518093
 - Document Notification 0518094
 - Document Notification 0539512

- Energy agreements
 - > 2A CleanTech agreement
 - > DER to Amanda Transfer Letter Dec 22
 - > Flat – Notice of Price Adjustment
 - > Welcome to Amanda Energy
- WEV Images, Plans and Media – specific to Cluster 2A
- Link to document library: <https://www.ecovillage.net.au/library/document-library/>

In addition, we commissioned our property lawyer to prepare the template deed required by all sellers as per their original contract. This deed is signed between the original Seller (Sustainable

Settlements and Perron Developments Pty Ltd) and your new purchaser (the Transferee) to ensure that the obligations of the contract are transferred to the new purchaser. This is covered under Special Condition 17.2 (or 14.2 in some contracts), which states:

17.2 Without limiting Special Condition 17.1 the Buyer must not dispose of or grant any interest in the Property prior to construction of a Dwelling unless the transferee or party taking an interest in the Property (Transferee) executes a deed in favour of the Seller on terms prepared by the Seller at the Buyer's cost under which the Transferee:

a) agrees to be bound by and perform the then subsisting provisions of this Contract (including the Repurchase Option if applicable); and

b) covenants to obtain the same covenant as contained in this Special Condition 17.2 from any further purchaser, transferee or assignee in a way that is satisfactory to the Seller.

This deed is now also available to purchase for \$100 + GST, which will eventually cover the cost to Sustainable Settlements P/L for the template and our admin costs to tailor it to your specific lot sale. You may choose to purchase the Deed and/or Document Pack together or separately for \$100 + GST each.

Please be aware that it is illegal for the WEV team to provide real estate services or advice to lot owners wishing to sell their lot unless we are legally engaged to sell on your behalf. To avoid disappointment, please do not call the WEV office asking for advice on the sales process if you are selling privately. If you are unsure of what you need to do, we recommend you either engage us formally to act on your behalf (once we have our triennial certificate license) or an external real estate agent. Thank you for your understanding.

Strata responsibility for footpaths and verge maintenance

Footpaths that run within the community garden are SHARED COMMON PROPERTY owned by all residents of a cluster and are therefore the responsibility of the strata to maintain. However, an EASEMENT (legal structure) sits over the top of them to enable members of the public to freely traverse them as they would any normal footpaths. This was required as part of our footpath network design, which took them off the streets to instead wind them through the clusters, a key planning feature of the Ecovillage community garden design.



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It is each strata's responsibility to ensure all pathways are kept clear of any plant material including weeds, debris or sand. It is an AMR Shire requirement that all footpaths are clean and cleared to avoid trip hazards and allow easy wheelchair and pram access. This includes weeds in the path joins and EUA vegetation overgrowing onto the paths. All planting should be setback 300mm from edges of paths for safety of path users. Thank you for your attention to this.

However, there are footpaths in some areas that are located parallel to the road in the PUBLIC ROAD RESERVE. Stage 1 clusters (which WEV has handed over to their strata councils) will recall the VERGE AGREEMENT that they signed and submitted to the Shire in October 2022 that outlined the responsibility of the strata clusters to maintain these road reserves. This agreement enabled us to plant fruit trees in the road reserve, which the Shire would not normally

strata instead of leaving it as the responsibility of individual residents, but that is entirely a decision for each strata council. The important thing to note is simply that the Shire will not be maintaining your verges.

The excerpt below is taken from the RESIDENTS' HANDBOOK, a digital copy of which will be freely available soon. Karen in the WEV team is coordinating and incorporating the feedback from councils, following which the handbook will undergo a final proof before being disseminated.

Foxcliffe vineyard

It's come to our attention that there may be some misunderstanding by a few individuals within the Ecovillage community about the current and future ownership of the 6ha organic Foxcliffe vineyard in the south-east corner of the Ecovillage.

This vineyard is and has always been owned by the JV developers and is not a part of Ecovillage Commons land. It is one of our agricultural lots and, when the time is right, it will be sold privately to an appropriate buyer who intends to operate it as a business. WEV is building a large shed next to the vineyard, opposite the wastewater treatment plant, which is for vineyard plant and equipment. . This infrastructure will be included in the future sale of the vineyard.

We have never indicated that the vineyard was part of Ecovillage Commons or owned by the community in any way. [See ECL map on our website here](#). However, we have always considered that this business, like all future



allow, as they are typically responsible for their maintenance.

The verge agreement also states that all lot owners are individually responsible for the maintenance of any public road reserve / verge area that sits directly adjacent to their own lot. Some strata councils may wish to amend this to take on the verge maintenance job as a whole

privately owned ag lot ecovillage businesses, and other businesses within the commercial precinct or Wolghine Square, will become part of the fabric of the Ecovillage community. We've always hoped to find a like-minded vigneron who will turn the high-quality Cabernet grapes from this NASAA certified vineyard into exceptional organic wine that we can all enjoy.

The plan has always been to start marketing the Foxcliffe vineyard for sale with Stage 5, later this year.

The Autumn Frenzy

By Mark Tupman

We are now officially into the Bunuru season and as the days gradually start getting shorter you can feel a chill in the morning and evening air. Without a doubt, this is the busiest time of year in an annual vegetable garden. There is always a bit of a crossover between the warm and cool season in a mediterranean climate and this traditionally involves harvesting, processing, pickling, drying, sorting and storing the last of

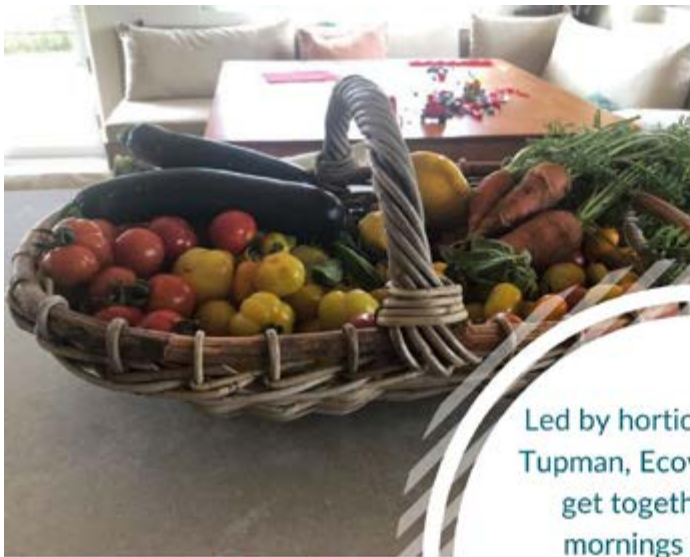


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the summer bounty while simultaneously preparing for and planting the first crops of autumn.

Now's actually the time to plant many of the vegetables we pick over the colder months. The list is extensive and includes carrots, peas, lettuce, spinach, spring onions, leeks, beetroot,

and sweeter crops. Another benefit of planting at this time of year is that most autumn/winter pests, diseases and weeds aren't very active yet, further stacking the odds in favor of a bountiful harvest. There's no time to wait as this planting window is all but over by mid-May when conditions get too cold and wet, and growth slows right down.



Led by horticulturalist, Mark Tupman, Ecovillage residents get together on Friday mornings for convivial information sharing and working bees, moving to a different garden or area each week.



parsnips, broccoli, cabbage, kale, cauliflower, brussel sprouts, turnip, swedes, fennel, celery, radish, rocket, coriander, dill, garlic etc... and we haven't even really started on the flowers and herbs yet.

Establishing these while there's still some warmth and sunshine, makes for better growth

Oh, the joys of living seasonally! It's easy to miss these nuances with the year round supply we get from the supermarket shelves these days. So why do we do it? For one thing it keeps life interesting, but there's also plenty to be said for produce that doesn't have to be transported from miles



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away, cold stored, packaged, preserved and so on, and, aside from the obvious environmental benefits, it just tastes so much better.

Have you ever had a candy carrot before? What's a candy carrot? Well! Vegetables planted earlier

- organising seeds, pots, and potting mix
- clearing out old crops and preparing garden beds
- planting seeds in pots



in the season naturally get more sunshine, which they turn into sugar. When the first real cold winter snap comes, a fair portion of that sugar is sent to the roots in anticipation of the frosty dormant time ahead. Carrots planted at this time of year are as sweet as they get.

So, it's time to get growing. Things to do over the coming months include:

- sowing seeds and planting out seedlings in garden beds
- watering, protecting and feeding young plants



Relevant docs in the Garden Handbook (coming soon):

- Garden Calendar
- Annual Edible Edible Planting Guide
- Potting Mix Recipe

One more thing...

The rainy season is on its way and fertilisers that dissolve in water may end up washing/leaching

want to work towards generating our fertility biologically so that we can move away from a reliance on outside inputs. We'll be covering how to do this in the upcoming Growing Organic workshop.

Garden workshops

Autumn is a particularly busy time of year for vegetable growing and a great time for starting



into the watercourses/dams and triggering undesirable algae growth. Plants don't need as much fertiliser in the cool season and we'd suggest that residents avoid using high nitrogen and phosphorous fertilisers (including manure) on their gardens at this time of year. Ideally we

up a new area of garden, set up new beds and get your soil into shape.

In readiness for this important season, we will again be



running our two garden workshops in April: “Growing Organic” and “Patch from Scratch”. The Ecovillage team offers these two popular kick-starter workshops for FREE to Ecovillage residents.

Much experience and research has been called upon and collated in the development of these workshops along with facts and figures gathered from our demonstration garden over the last couple of years. They are designed to provide residents with the grounding needed to get growing in the Ecovillage.

Growing Organic - Saturday, 1 April from 2:00pm - 4:30pm

This aim of this workshop is to give participants an understanding of fundamental ecological principles that can be applied to grow high quality produce with fewer inputs and waste, while simultaneously improving the health of our landscapes, fostering biodiversity and doing our bit for climate regulation.

Patch from Scratch – Sunday, 2 April from 9:30am - 12:00pm

This workshop is tailored towards those who are about how to embark on a household

food garden venture. We present a range of information on what's involved and how to design, plan and get started on your home garden patch.

Thank you to the graffiti cleaning fairy

As some of you may be aware, the Ecovillage was the unfortunate victim of senseless graffiti during the January holiday period with blue spray paint tags on signage, granite rocks and footpaths in and around Wolghine Square. The police and Shire were both notified, and the signs were taken down immediately as per best practice. Before the WEV team was able to organise a contractor to remove the graffiti from the granite rock, it was largely cleaned off. We're still unsure who did this, but we're grateful, nonetheless. So, this is just a little shout-out to the Ecovillage cleaning fairy: thanks for your generosity and for taking pride in our community.

We are on the map!

Both Apple Maps and Google Maps now have 'Witchcliffe Ecovillage' located at 54 Mardo Drive, Witchcliffe and Google Maps actually sent us an email to say that the location had been searched 5,000 times since we updated the location.

To this end it would be useful if all residents jumped onto Google Maps and Apple Maps and input your addresses (street number and name) as 'suggested edits.' For some reason, Apple Maps only allows these edits to the map to be made from an iPhone or from Macs with certain security chips so if you are looking for the function to edit an address and it doesn't appear on your version of Maps, perhaps try from your iPhone, or ask someone else to update it.

There is a function to 'drag your location' to show exactly where you are located and it's easy to get this wrong if you don't zoom in enough, so just remember to take a good look on the new location you have suggested before you hit send on the change.

Many thanks to you all for contributing to this – no doubt it will help friends and family looking for us too.